

Residential Property Maintenance

Every owner and or tenant has a responsibility to keep our residential neighborhoods clean and attractive. This brochure highlights some of the major provisions of the city's property maintenance ordinances. Please use this brochure to help you recognize potential deficiencies on your property and take corrective action to preserve your property value and the character of your neighborhood.

Premises identification

- Residential buildings shall have *approved* address numbers placed in a position to be plainly legible and visible from the street or road fronting the property. These numbers shall contrast with their background. Address numbers shall be Arabic numerals or alphabet letters. Numbers shall be a minimum of 4 inches in height with a minimum stroke width of 0.5 inch.

Foundation walls

- All foundation walls shall be maintained plumb and free from open cracks and breaks and shall be kept in such conditions so as to prevent the entry of rodents and other pest.

Exterior wall surfaces and trim including sheds, garage or other outbuildings

- All exterior surfaces, including but not limited to, doors, door and window frames, cornices, porches, trim, balconies, decks and fences, shall be maintained in good condition, free of holes and damaged material.
- All exterior surfaces shall be maintained weather resistant and water tight.
- Exterior wood surfaces, other than decay-resistant woods, shall be protected from the

elements and decay by painting or other protective covering or treatment.

- Peeling, flaking and chipped paint on surfaces such as gutters, windows, trim and exterior walls shall be eliminated and surfaces repainted.

Exterior Openings: Windows, skylights and doors

- Every window, skylight and door shall fit tightly within its frame, is weather tight, and maintained in good repair.
- All glazing materials shall be maintained free from cracks and holes.
- Screens and frames shall be maintained in good repair and free of breaks or holes.
- Awnings shall be kept in good repair.

Roofing and guttering

- Roofs, eaves and soffits shall be maintained in good repair free of any sign of deterioration.
- Roofs, eaves and soffits that are damaged or will admit rain or animals shall be repaired.
- Guttering and downspouts shall be maintained in good repair and in working condition.

Stairways, decks, porches and balconies

- Every exterior stairway, deck, porch and balcony, shall be maintained structurally sound, in good repair, with proper anchorage and capable of supporting the imposed loads.
- Every handrail and guard shall be firmly fastened and capable of supporting normally imposed loads and shall be maintained in good condition.
- Every exterior flight of stairs having more than four risers shall have a handrail on one side of the stair and every open portion of a stair, landing, balcony, porch, deck, ramp or other walking surface which is more than 30 inches above grade shall have guards. Handrails shall not be less than 30 inches in height or more than 42 inches in height measured vertically above the nosing of the tread or above the

finished floor of the landing or walking surfaces.

- Guards shall not be less than 30 inches in height

Accessory structures

- All accessory structures, including *detached* garages, sheds, fences and walls, or other similar structures shall be maintained structurally sound and in good repair.
- Peeling, flaking and chipped paint on accessory structures shall be eliminated and the surfaces repainted.
- Fences or fence sections that are leaning, buckling, sagging or deteriorating shall be repaired.

Swimming Pools

- Swimming pools shall be maintained in a clean and sanitary condition, and in good repair.
- Private swimming pools, hot tubs and spas, containing water more than 24 inches in depth shall be completely surrounded by a fence or barrier at least 48 inches in height above the finished ground level measured on the side of the barrier away from the pool. Gates and doors in such barriers shall be self-closing and self-latching.
Exception: Spas or hot tubs with a safety cover that comply with ASTM F1346.

Sidewalks and driveways

- All sidewalks, walkways, stairs, driveways, parking spaces and similar areas shall be kept in a proper state of repair, and maintained to the extent that they would not be a safety hazard.

Vehicles

- Parking on the grass is prohibited.
- City ordinance considers some trucks and vans to be commercial vehicles.
- Commercial vehicles may be parked on private property or in a residential area on one

occurrence during a 30-day period. The occurrence may not exceed 24 hours in duration.

- For a copy of the Parking in Residential Areas brochure, which lists the commercial vehicle size regulations, please call Community Services at 913/895-6270 or read and download at the city website - <http://www.opkansas.org/wp-content/uploads/downloads/guidelines-for-personal-vehicles.pdf>

Recreation vehicles, boats, camper or trailer

- A recreational vehicle may be parked on a paved driveway between the street and a residence on two occurrences during any 30-day period. Each occurrence may not exceed 48 hours in duration.
- Contact Community Services at 913/895-6270 for information pertaining to storage of recreational vehicles, since the size of the lot may determine where the vehicle can be stored. You may also view the ordinance at <http://www.opkansas.org/city-government/codes-and-ordinances/property-maintenance-code/>

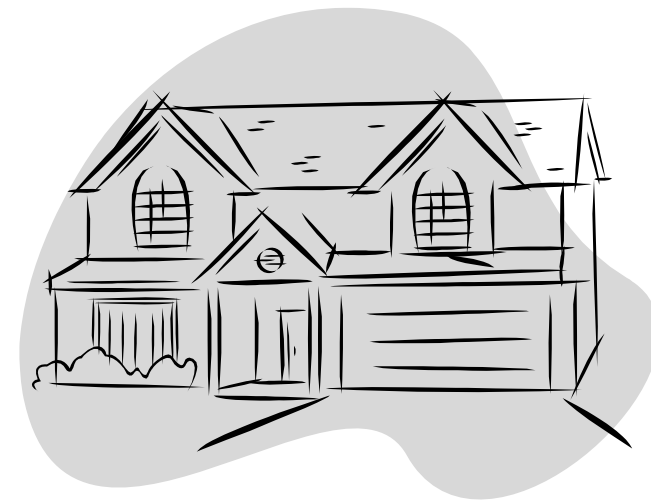
Inoperable Vehicles

- No vehicle that has been discarded or abandoned, or is in a state of major disassembly, disrepair, or in the process of being stripped or dismantled shall be parked, kept or stored on any premises.
- By definition an unlicensed vehicle is considered an inoperable vehicle thus they shall not be kept, parked or stored on any premises. Inoperable vehicles are allowed to be parked or stored in an enclosed structure.

Residential Property Maintenance

Community Services

Guidelines for Residents



Planning and Development Services

OVERLAND PARK
K A N S A S
—
ABOVE AND BEYOND. BY DESIGN.

Exterior storage of items

- All items stored on the exterior of the property shall be screened from view of the street and neighbors. Screening can be made from a fence, wall or landscaping but must be approved through Community Services at 913/895-6270.
- Firewood, barbecue grills, play equipment, lawn furniture or other outdoor recreational equipment are not required to be screened.
- Firewood shall be neatly stacked, free of insects or rodents and may not be stored closer to a street than the nearest primary wall surface of the residence.

Trees and shrubs

- Dead trees, broken or dead limbs that present a hazard to the public shall be removed.
- Trees and shrubs shall be trimmed to eliminate sight distance problems on corner property and to allow proper clearance at public rights-of-way.
- Tree limbs that overhang streets and/or sidewalks shall be trimmed to meet the minimum height requirements. The minimum height clearance over sidewalks is 8 feet. The minimum height clearance over streets is 12 feet and for improved thoroughfares and designated truck routes the height clearance is 13 feet.

Tall grass and weeds

- Tall grass and weeds shall be mowed or trimmed to a height not to exceed 8 inches.
- All premises shall be maintained free from noxious weeds, uncultivated or excessive growth of vegetation, poisonous plants to the touch or invasive plants that are not properly controlled.

Sanitation

- All exterior property and premises shall be maintained in a clean, safe and sanitary condition.
- Excessive accumulation of animal waste is cleaned up and disposed of properly.
- Solid waste containers and/or trash bags are screened from view from any street or neighboring property and located behind the front of the house.
- Solid waste and recycling containers may be placed in front of the residence or next to the street no more than 24 hours before your scheduled trash pick-up.

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Planning and Development Services
Community Services
8500 Antioch Rd., Overland Park, KS 66212
Ph. 913/895-6270 Fax 913/895-5084
<http://www.opkansas.org>