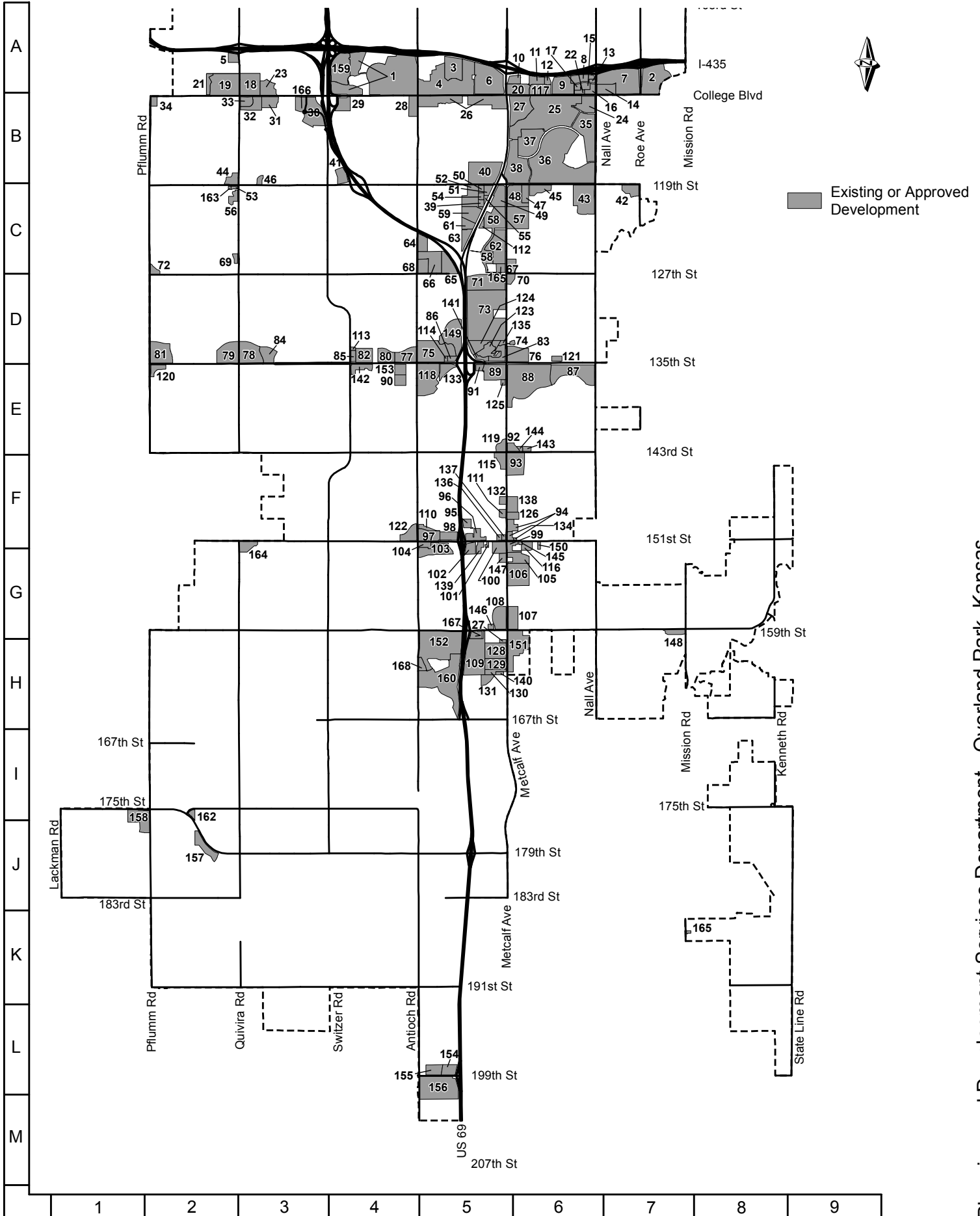


# NONRESIDENTIAL DEVELOPMENT SOUTH OF I-435

December 31, 2015



**Table 1. Business Park, Convention, and Other Facilities  
South of I-435  
Square Footage  
Through December 2015**

DEVELOPMENT	MAP LOCATION	DEV. NO.	APPROVED NOT BUILT	EXISTING/ UNDER CONSTRUCT.	TOTAL**
BLUE VALLEY BUSINESS CENTER*	H5	128	UNKNOWN	119,563	119,563
CITIZEN'S PLAZA	E5	133	27,446	51,154	78,600
135TH STREET BUSINESS PARK	D4	80	0	218,934	218,934
RITZ CHARLES	E4	90	5,217	33,772	38,989
ROSANA SQUARE	B5	40	0	232,646	232,646
SEGA BUSINESS PARK/BLUE VALLEY BUSINESS CENTER	H5	109	309,584	246,151	555,735
STORAGEMART	G5	103	291	110,194	110,485
SUNFLOWER	H5	140	800	12,000	12,800
THE VILLAGE OF OVERLAND POINT	E5	118	31,000	80,170	111,170
UNNAMED (Rez 2000-17)	A6	117	0	188,276	188,276
<b>BUSINESS PARK SUBTOTAL</b>			<b>374,338</b>	<b>1,292,860</b>	<b>1,667,198</b>
OVERLAND PARK CONVENTION CENTER	A6	9	314,600	240,000	554,600
OVERLAND PARK INTERNATIONAL TRADE CENTER	B6	37	74,049	911,433	985,482
<b>CONVENTION CENTER SUBTOTAL</b>			<b>388,649</b>	<b>1,151,433</b>	<b>1,540,082</b>
CHARTER HOSPITAL	C5	65	0	54,250	54,250
CHILDREN'S MERCY SOUTH	A6	8	20,889	190,554	211,443
MENORAH PARK	C6	43	191,682	296,000	487,682
MID-AMERICA REHABILITATION HOSPITAL	A6	15	0	106,943	106,943
SAINT LUKE'S	C5	62	0	234,950	234,950
HOSPITAL - VILLAGE OF OVERLAND PARK	H5	160	700,000	0	700,000
<b>OTHER FACILITIES SUBTOTAL</b>			<b>912,571</b>	<b>882,697</b>	<b>1,795,268</b>
<b>TOTAL FOR ALL TYPES</b>			<b>1,675,558</b>	<b>3,326,990</b>	<b>5,002,548</b>

\* Business park developed prior to annexation. Figures shown as "Existing/Under Construction" are from the Johnson County Appraiser's office. Additional square footage may be permitted in these areas. \*\*Any difference between this number and what is shown in the zoning file is due to a difference in the way square footage is computed for building purposes.

**Table 2. Commercial Square Footage South of I-435**  
Through December 2015

<b>DEVELOPMENT</b>	<b>MAP LOCATION</b>	<b>DEV. NO.</b>	<b>APPROVED NOT BUILT</b>	<b>EXISTING/ UNDER CONSTRUCT.</b>	<b>TOTAL *</b>
ANTIOCH 127 SHOPPING CENTER	C5	68	16,965	81,212	98,177
ANTIOCH 127	C5	66	9,816	0	9,816
BANK MIDWEST	D5	135	0	6,574	6,574
BLUE VALLEY BUSINESS CENTER***	H5	128	7,496	38,448	45,944
BLUE VALLEY BUSINESS PARK***	H5	130	UNKNOWN	42,115	42,115
BLUE VALLEY COMMONS	C5	63	8,000	19,152	27,152
BLUE VALLEY HILLS	G6	116	0	47,325	47,325
BLUE VALLEY PARK***	H5	129	UNKNOWN	154,075	154,075
BLUE VALLEY TRACTOR & SUPPLY***	L5	155	UNKNOWN	20,415	20,415
BRYAN OFFICE PARK	A7	7	0	36,387	36,387
COLLEGE SQUARE	A2	19	131,198	181,371	312,569
COMPASS CENTER	B3	31	7,945	0	7,945
CONTINENTAL CENTER	C5	49	21,272	173,928	195,200
CORBIN PARK	E6	88	217,231	909,534	1,126,765
CORPORATE WOODS	A4	1	8,104	66,596	74,700
CRYSTAL SPRINGS	D2	81	300,000	0	300,000
DEER CREEK COMMONS	D5	71	27,000	0	27,000
DEER CREEK MARKETPLACE	D6	76	19,751	189,529	209,280
EDGEWATER CROSSING	F6	126	7,089	36,725	43,814
EXECUTIVE HILLS	B5	26	0	108,810	108,810
EXECUTIVE HILLS	A5	4	7,358	129,952	137,310
FINANCIAL PLAZA	A6	20	0	38,506	38,506
FISHMAN CENTER	F5	136	0	12,790	12,790
HAWTHORNE PLAZA	C7	42	16,485	119,524	136,009
HEATHERWOOD SHOPPES	F5	111	0	46,264	46,264
HIBDON PLAZA	D5	86	2,535	20,705	23,240
HIGHLAND PLAZA	B4	41	14,388	126,812	141,200
HIGHLAND VILLAGE RETAIL CENTER	C2	72	4,356	22,836	27,192
HY-VEE SHOPPING CENTER	D4	77	51,054	101,584	152,638
JEB STUART OFFICE PARK	B4	29	0	57,159	57,159
LA PALOMA PLAZA	C6	47	0	55,396	55,396
LIONSGATE MARKETPLACE	F6	93	92,741	184,754	277,495
METCALF'S PLAZA WEST	A5	6	3,482	101,170	104,652

**Table 2. Commercial Square Footage South of I-435**  
Through December 2015

<b>DEVELOPMENT</b>	<b>MAP LOCATION</b>	<b>DEV. NO.</b>	<b>APPROVED NOT BUILT</b>	<b>EXISTING/ UNDER CONSTRUCT.</b>	<b>TOTAL *</b>
METCALF AT 119TH	C5	51	933	54,567	55,500
METCALF 127 PLAZA	C6	67	662	79,338	80,000
METCALF 160***	H5	127	UNKNOWN	17,948	17,948
METCALF VILLAGE	H6	151	357,268	8,770	366,038
MISSION 159	H7	148	48,811	0	48,811
OLD METCALF CENTER	E5	89	20,379	133,676	154,055
123RD STREET SHOPS	C5	61	50,600	0	50,600
135TH PLACE	E5	91	37,897	0	37,897
151ST STREET DEVELOPMENT	F6	134	4,748	16,106	20,854
199TH & ANTIOCH RETAIL CENTRE	M5	156	460,150	0	460,150
OSCO	F5	137	0	14,596	14,596
OVERLAND POINT MARKET PLACE	D5	75	945	409,811	410,756
OVERLAND STATION	C5	52	25,701	158,709	184,410
OXFORD ANIMAL HOSPITAL	D4	113	0	9,170	9,170
PINNACLE VILLAGE /CELLULAR ONE	C5	59	3,347	186,187	189,534
PRAIRIE CENTER	D2	79	98,169	163,331	261,500
PRICE CHOPPER - 135TH ST.	D3	78	32,039	195,323	227,362
PRICE CHOPPER - 151ST ST.	G5	100	22,418	86,657	109,075
REGENTS VILLAGE	C2	69	543	24,580	25,123
RITZ CHARLES PLAZA	E4	153	30,035	28,915	58,950
ROE CORPORATE CENTER	A7	2	0	73,635	73,635
ROSANA SQUARE	B5	40	5,141	327,412	332,553
SHANNON VALLEY	B4	28	0	122,401	122,401
SHOPPES AT DEER CREEK WOODS II	D5	83	1,525	94,222	95,747
SHOPPES AT DEER CREEK WOODS III	D5	141	0	36,321	36,321
SHOPPES OF CARRINGTON SQUARE	E4	142	57,160	19,374	76,534
SOLERA SALON CENTER	C5	39	938	33,850	34,788
SOUTH GLEN	C6	48	44,916	189,084	234,000
SOUTHRIDGE RETAIL CENTER	C5	58	131,223	65,987	197,210
ST. ANDREWS PLAZA	D3	84	33,919	81,357	115,276
STANLEY SQUARE	F5	98	0	87,013	87,013
STANLEY STATION	G5	102	3,602	68,895	72,497
STOLL PARK CENTER	B2	44	371	87,476	87,847
STONEPOST RANCH	E2	120	38,260	13,680	51,940

**Table 2. Commercial Square Footage South of I-435  
Through December 2015**

<b>DEVELOPMENT</b>	<b>MAP LOCATION</b>	<b>DEV. NO.</b>	<b>APPROVED NOT BUILT</b>	<b>EXISTING/ UNDER CONSTRUCT.</b>	<b>TOTAL *</b>
SWITZER COMMONS	D4	85	0	22,614	22,614
SWITZER COMMONS II	D4	82	90,950	0	90,950
TARGET CENTER	G5	103	0	158,818	158,818
THE FOUNTAINS	C6	45	200	130,748	130,948
THE GRASS PAD***	L5	154	UNKNOWN	19,184	19,184
THE MET AT 435	A6	10	3,328	23,097	26,425
THE VILLAGE ON COLLEGE BLVD.	B3	33	29,813	70,187	100,000
TRAIL POINT PLAZA	C1	163	0	4,711	4,711
TRAIL WINDS CENTER	F5	97	15,506	124,347	139,853
VILLAGE OF OVERLAND PARK	H5	152	973,533	56,588	1,030,121
VILLAGE OF OVERLAND POINTE	E5	118	34,017	129,660	163,677
VILLAGE PLAZA	G6	107	152,985	25,405	178,390
WALMART	B6	38	12,466	544,285	556,751
WALMART	G5	108	0	201,820	201,820
WATERWAY	D5	114	0	13,418	13,418
WINDSOR SQUARE	C5	50	7,770	21,210	28,980
N.E. CORNER OF 123RD & BLUE VALLEY	C5	112	25,470	0	25,470
N.W. CORNER OF 151ST & METCALF**	F5	96	0	22,029	22,029
S.E. CORNER OF 151ST & METCALF***	G6	99	UNKNOWN	1,728	1,728
S.E. CORNER OF 151ST & ANTIOCH **	G5	104	1,938	16,449	18,387
UNNAMED (Rez 2004-6)	F6	138	106,000	0	106,000
UNNAMED (Rez 2012-6)	G3	164	79,500	0	79,500
UNNAMED (Rez 2011-16)	K8	165	7,000	0	7,000
UNNAMED (Rez 2015-9)	H5	167	54,238		54,238
VICINITY N.E. CORNER OF 151ST & METCALF	F6	94	0	34,300	34,300
WOLF CREEK PLAZA	J1	158	263,802	0	263,802
<b>TOTAL</b>			<b>4,344,482</b>	<b>7,638,637</b>	<b>11,983,119</b>

\* Any difference between this number and what is shown in the zoning file is due to a difference in the way square footage is computed for building permit purposes.

\*\* The "Approved Not Built" number represents only development plans approved by Overland Park since the 1985 annexation.

\*\*\* Commercial area developed prior to annexation. Figures shown as "Existing/Under Construction" are from the Johnson County Appraiser's office. Additional square footage may be permitted in these areas.

**Table 3. Hotel and Motel Rooms South of I-435**  
Through December 2015

<b>DEVELOPMENT</b>	<b>MAP LOCATION</b>	<b>DEV. NO.</b>	<b>APPROVED NOT BUILT</b>	<b>EXISTING/ UNDER CONSTRUCT.</b>	<b>TOTAL NO. OF ROOMS</b>
CANDLEWOOD	A2	19	0	122	122
CANDLEWOOD SUITES	E4	153	4,484	55,516	60,000
CORPORATE WOODS-DOUBLETREE HOTEL	A4	1	0	357	357
CORPORATE WOODS*	A4	159	150	0	150
COURTYARD BY MARRIOTT	A6	17	0	168	168
DRURY INN & DRURY INN SUITES	A6	10	0	320	320
EXTENDED STAY AMERICA	A2	5	0	120	120
FAIRFIELD INN & SUITES	C5	63	0	110	110
HILTON GARDEN INN	A6	22	0	125	125
HOLIDAY INN EXPRESS	B6	25	106	0	106
HOLIDAY INN EXPRESS AND SUITES*	D5	123	0	90	90
HOLIDAY INN HOTEL	A6	13	0	121	121
HOLTZE EXECUTIVE VILLAGE	A3	23	0	216	216
HOMESTEAD VILLAGE	A7	14	0	131	131
HYATT PLACE	A7	7	0	136	136
KELLY PARK HOTEL 1*	D5	149	123	0	123
KELLY PARK HOTEL 2*	D5	149	88	0	88
KELLY PARK HOTEL 3*	D5	149	100	0	100
MARRIOTT TOWNEPLACE SUITES	D6	74	0	91	91
OVERLAND PLAZA-AMERISUITES	B6	25	0	128	128
OVERLAND PLAZA-COURTYARD BY MARRIOTT	B6	25	0	149	149
PRAIRIEFIRE@LIONSGATE*	E6	87	100	0	100
RESIDENCE INN BY MARRIOTT	A6	12	0	112	112
RESIDENCE INN MOTEL	C5	54	0	120	120
SHERATON HOTEL (CONVENTION CENTER)	A6	9	0	412	412
SPRINGHILL SUITES BY MARRIOTT	C5	55	0	102	102
THE GALLERIA	B3	30	600	0	600

WILLIAMS/LIGHTON-MARRIOTT HOTEL	A5	6	0	402	402
<b>TOTAL NUMBER OF ROOMS</b>			<b>5,751</b>	<b>59,048</b>	<b>64,799</b>

\* Part of a mixed-use development

**Table 4. Industrial Square Footage South of I-435  
Through December 2015**

<b>DEVELOPMENT</b>	<b>MAP LOCATION</b>	<b>DEV. NO.</b>	<b>APPROVED NOT BUILT</b>	<b>EXISTING/ UNDER CONSTRUCT.</b>	<b>TOTAL**</b>
ANTIOCH 127	<b>C5</b>	66	36,857	204,699	241,556
FRYE INDUSTRIAL PARK *	<b>G6</b>	106	104,018	146,261	250,279
JEB STUART OFFICE PARK	<b>B4</b>	29	15,667	128,383	144,050
OVERLAND PARK PLAZA II	<b>B6</b>	25	121,975	88,200	210,175
RENO INDUSTRIAL CENTER	<b>H5</b>	131	7,937	28,555	36,492
WALLINGFORD SITE (Rez 93-31)	<b>C5</b>	64	91,100	0	91,100
UNNAMED (152nd St.) *	<b>G6</b>	105	UNKNOWN	4,876	N/A
<b>TOTAL</b>			<b>377,554</b>	<b>600,974</b>	<b>973,652</b>

\* Industrial area developed prior to annexation. Figures shown as "Existing/Under Construction" represent construction activity since annexation. Additional square footage may be permitted in these areas.

\*\* Any difference between this number and what is shown in the zoning file is due to a difference in the way square footage is computed for building permit purposes.



**Table 5. Mixed-Use Square Footage South of I-435\***  
**Through December 2015**

<b>DEVELOPMENT</b>	<b>MAP LOCATION</b>	<b>DEV. NO.</b>	<b>APPROVED NOT BUILT</b>	<b>EXISTING/ UNDER CONSTRUCT.</b>	<b>TOTAL</b>	
BLUE VALLEY PHYSICAL THERAPY	<b>G6</b>	145	0	12,250	12,250	OK
CONSER CROSSING	<b>G5</b>	139	50,561	11,045	61,606	OK
CORPORATE WOODS	<b>A4</b>	159	605,000	513,658	1,118,658	OK
CITY PLACE	<b>B3</b>	166	75,531	0	75,531	OK
DEER CREEK WOODS CORPORATE CENTRE	<b>D5</b>	123	65,613	95,812	161,425	OK
KELLY PARK	<b>D5</b>	149	71,500	0	71,500	OK
PRAIRIEFIRE AT LIONSGATE	<b>E6</b>	87	1,535,926	249,419	1,785,345	OK
RETREAT AT MAPLE CREST	<b>G5</b>	146	29,200	0	29,200	OK
STANLEY COLONADE	<b>G6</b>	150	17,300	0	17,300	OK
<b>TOTAL</b>			<b>2,450,631</b>	<b>882,184</b>	<b>3,332,815</b>	<b>OK</b>

\* Mixed-use square footage reported is for both office and commercial uses. Mixed-use developments may contain hotels and residential uses as well. Check the Hotel & Motel Rooms listing accompanying the Nonresidential South of I-435 map for approved hotels. Check the Multifamily Development maps and listings for the number of residential units in mixed-use developments.

**Table 6. Office Square Footage South of I-435  
Through December 2015**

<b>DEVELOPMENT</b>	<b>MAP LOCATION</b>	<b>DEV. NO.</b>	<b>APPROVED NOT BUILT</b>	<b>EXISTING/ UNDER CONSTRUCT.</b>	<b>TOTAL*</b>
ALLSTATE	A5	3	0	129,000	129,000
ANTIOCH 127	C5	66	10,000	26,469	36,469
BRYAN OFFICE PARK	A7	7	230,000	854,337	1,084,337
CARONDELET MEDICAL BUILDING	F5	95	27,152	10,348	37,500
CHILDREN'S MERCY MEDICAL OFFICES	A6	8	51,735	0	51,735
CITY PLACE	B3	30	600,250	0	600,250
COLLEGE BLVD. PLAZA	A6	16	0	91,236	91,236
COLLEGE CORPORATE CENTRE	A7	14	0	84,331	84,331
COLLEGE COURT	B2	34	41,590	0	41,590
COLLEGE PARK	B3	32	1,500	114,652	116,152
COLLEGE SQUARE	A2	19	56,843	80,077	136,920
COLLEGE SQUARE OFFICE PARK	A2	21	365	40,462	40,827
COMMERCE TERRACE	A3	23	0	121,790	121,790
COMPASS CORPORATE CENTER	B3	31	123,296	85,000	208,296
CORPORATE LAKES AT METCALF	C6	57	57,293	206,821	264,114
CORPORATE WOODS	A4	1	146,044	1,808,093	1,954,137
DEER CREEK COMMONS	D5	71	138,595	356,185	494,780
DEER CREEK OFFICE DEVELOPMENT	D6	70	19,000	39,000	58,000
DEER CREEK OFFICE PLAZA	D6	121	0	34,535	34,535
DEER CREEK WOODS CORP CENTRE II	D5	124	16,260	35,050	51,310
EXECUTIVE HILLS	A5	4	0	1,144,430	1,144,430
EXECUTIVE HILLS	B5	26	3,818	556,163	559,981
FARMERS INSURANCE (COLLEGE OAKS)	A3	18	34,433	331,093	365,526
FIELDSTONE OFFICE PARK	F5	115	44,695	57,591	102,286
FINANCIAL PLAZA	A6	20	0	270,542	270,542
FOREST CREEK OFFICE COMPLEX	F5	132	18,178	16,784	34,962
FREEDOM BANK	E6	144	295	16,705	17,000
GALLERIA	B3	30	1,600,000	0	1,600,000
INDIAN CREEK EXECUTIVE CENTER	B3	46	0	22,004	22,004
LIONSGATE OFFICE CENTRE	E6	92	0	68,643	68,643
MENORAH MEDICAL OFFICES	C6	43	81,400	158,600	240,000
METCALF MEDICAL OFFICE BUILDING	E5	125	36,745	0	36,745

<b>DEVELOPMENT</b>	<b>MAP LOCATION</b>	<b>DEV. NO.</b>	<b>APPROVED NOT BUILT</b>	<b>EXISTING/ UNDER CONSTRUCT.</b>	<b>TOTAL*</b>
NALL CORPORATE CENTRE	B6	24	126,681	338,729	465,410
119TH AND QUIVIRA OFFICE PARK	C2	53	0	14,800	14,800
119TH AND QUIVIRA OFFICE PARK 2ND PLAZA	C2	56	25,300	12,675	37,975
143RD STREET AT LAMAR OFFICE PARK	E6	143	9,892	27,000	36,892
159TH AND ANTIOCH MEDICAL OFFICES	H5	160	1,327,850	23,859	1,351,709
OVERLAND PARK PLAZA II	B6	25	328,886	1,162,937	1,491,823
OVERLAND PARK PROFESSIONAL	F5	110	20,000	11,000	31,000
ROCKBROOK OFFICE PARK	E5	119	76,750	0	76,750
ROE CORPORATE CENTER	A7	2	0	638,880	638,880
SCHLAGEL OFFICE PROPERTY	J2	162	28,400	0	28,400
SOUTHCREEK	D5	73	545,888	1,370,750	1,916,638
SOUTHRIDGE	C5	165	120,000	0	120,000
SPRINT CAMPUS	B6	36	0	4,016,797	4,016,797
ST. ANDREWS CENTER	D3	84	3,452	9,548	13,000
ST LUKES' MEDICAL OFFICES	C5	62	35,203	79,000	114,203
THE RENAISSANCE	B6	27	1,896	544,262	546,158
VERITAS OFFICE CENTER	G5	147	47,000	0	47,000
VILLAGE OF OVERLAND PARK	H5	152	387,850	0	387,850
WILLIAMS/LIGHTON	A5	6	6,146	893,555	899,701
WINCREST	F4	122	16,468	63,297	79,765
N.W. CORNER OF 151ST & METCALF**	F5	96	19,854	20,540	40,394
UNNAMED (Rez 85-66)	C6	47	52,500	0	52,500
UNNAMED (Rez 87-1)	G5	101	15,000	0	15,000
UNNAMED (Rez 98-3)	D5	83	27,000	0	27,000
UNNAMED (Rez 99-19)	B6	35	530,000	0	530,000
UNNAMED (Rez 2008-6)	J2	157	106,000	0	106,000
UNNAMED (Rez 2012-6)	G3	164	27,575	0	27,575
UNNAMED (Rez 2014-4)	A6	11	-	104,500	104,500
<b>TOTAL</b>			<b>7,225,078</b>	<b>16,092,070</b>	<b>23,317,148</b>

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